

**Riverside County Office of Education
Staff Report
River Springs Charter School
Material Revision Petition
December 29, 2025**

BACKGROUND

On November 12, 2025, River Springs Charter School (“River Springs” or “Charter School”) submitted a material revision (“Material Revision”) to the Riverside County Board of Education (“Board” or “County Board”) seeking to revise its current countywide charter petition (“Charter Petition”) under which River Springs first started serving students on or about August 1, 2007. The Charter School’s most recent material revision to the Charter Petition was approved by the Board on June 5, 2024. The current term of the Charter Petition expires on June 30, 2026, and River Springs submits this Material Revision to the Board with its renewal petition (“Renewal Petition”).

On January 14, 2026, the Board will hold a public hearing at which time it will either grant or deny the Material Revision. Riverside County Office of Education (“RCOE”) staff and legal counsel have reviewed the Material Revision and Renewal Petition for compliance with the requirements of the Charter Schools Act (the “Act”), Ed. Code §§ 47600, et seq., including any new legal requirements applicable to charter schools since River Springs’ last material revision was granted in 2024. This report contains the analysis and proposed findings of fact related to the Material Revision for Board consideration. RCOE staff have prepared a separate report addressing their analysis and proposed findings of facts relating to the Renewal Petition. Staff’s analysis of whether River Springs appropriately addressed any changes in the law since its last renewal and material revision is addressed collectively in the staff report for the Renewal Petition.

The Charter School serves students in grades TK-12 at various locations throughout Riverside County. The Material Revision proposes the following changes to its student centers and programs:

1. Cherry Valley Student Center: 10257 Beaumont Ave – increasing from a TK-12 homeschool learning lab to a 3-day TK-8 hybrid center
2. Arbor Student Center: 17241 Van Buren Blvd – adding a 5-day TK-8 seat-based program
3. Hemet Student Center: 45252 Florida Ave – adding a 5-day TK-8 seat-based program
4. Rebranding 9-12 “Renaissance Real World Academy” to “P.O.P High School Program”
5. Removing “Keys” and “Global” high school programs
6. Adding TK-12 Home-based Education Live Learning Online Program
7. Adding TK-12 Venture Online Program
8. Adding TK-8 Virtual Village Online Program
9. Adding Connections Academy at Springs online program

The Cherry Valley student center's use is being expanded from a student center that only hosts learning labs to hosting the TK-12 Mosaic Academy hybrid program. The Mosaic program expects in person attendance three days a week, but the program is still considered non-classroom based.

The new Hemet Academy of Arts is a replacement facility for its Girard Student Center located at 105 N. Girard that serves TK-12 homeschool and online students, but due to the size of the new location, River Springs will add a five-day seat-based arts program for TK-8 students. Enrollment and ADA projections were not provided for this academy. The site at 45252 Florida Avenue was identified as a replacement site in its May 2024 material revision approved by the Board on June 5, 2024.

The Arbor Student Center will be the location of the Orchard Academy, a 5-day seat-based program. Enrollment and ADA projections were not provided for this academy. This location was identified in River Springs May 2024 Material Revision, approved by the Board on June 5, 2024.

All the other changes represent online programmatic changes.

Riverside County Office of Education ("RCOE") staff and legal counsel ("Review Team") reviewed the Petition and developed this staff report for consideration by the Board. This report and any other staff recommendations will be published at least 15 days before the public hearing at which the Board will either grant or deny the charter.

LEGAL STANDARDS

General Review Criteria

The Charter Schools Act ("Act") governs the creation of California charter schools and provides standards and criteria for reviewing a charter petition. After a petition is initially granted, a charter school may grant subsequent renewals in accordance with Education Code section 47607.2. (Ed. Code § 47607(a)(2).) When a charter school submits a renewal petition but desires to expand its operations to additional grade levels or sites, it must submit a request to its authorizer to make material revisions to its petition. (Ed. Code, § 47607(a)(3).) A material revision to a charter petition may be made only with the authorizer's approval. (*Id.*) Material revision petitions are governed by the standards and criteria described in Education Code section 47605, although Countywide charter petitions are submitted in accordance with Education Code section 47605.6. These elements and standards are nearly identical to those in Education Code section 47605, governing petitions operating within the jurisdiction of a single school district. Accordingly, by harmonizing the statute with other laws, renewal and material revisions of countywide charter petitions are governed by the standards and criteria described in Education Code section 47605.6, as well as the criteria in Education Code Sections 47607 and 47607.2.¹

¹ See *Isobe v. Unemployment Ins. Appeals Bd.* (1974) 12 Cal.3d 584, 590-91(statutes should be construed as to harmonize, if possible, with other laws relating to the same subject).

Like renewal petitions, material revisions must include a reasonably comprehensive description of any new requirements for charter schools enacted into law after the charter was originally granted or last renewed. (Ed. Code, §§ 47605.6(b), 47607(b).)

An authorizer may not deny a material revision petition unless it makes written factual findings, specific to the particular petition, setting forth specific facts to support one or more of the following:

1. The charter school presents an unsound educational program for the students to be enrolled in the charter school.
2. The petitioner is demonstrably unlikely to successfully implement the program set forth in the petition.
3. The petition does not contain an affirmation of each of the conditions described in Education Code section 47605.6(e).
4. The petition does not contain reasonably comprehensive descriptions of all of the following, including any new requirements for charter schools enacted into law after the charter was originally granted or last renewed:
 - a. Educational program, including annual goals for all pupils and pupil subgroups, and actions to achieve those goals
 - b. Measurable pupil outcomes identified for use by the charter school, aligned with the state priorities
 - c. Method by which pupil progress in meeting outcomes is to be measured
 - d. Location of each charter school facility
 - e. Governance structure, including process to ensure parental involvement
 - f. Employee qualifications
 - g. Health and safety procedures
 - h. Means to achieve a balance of racial and ethnic pupils, special education pupils, and English learner pupils that is reflective of the general population residing within the territorial jurisdiction of the county
 - i. Manner for conducting annual, independent financial audits
 - j. Suspension and expulsion procedures
 - k. Retirement systems
 - l. Dispute resolution procedures
 - m. Admission policies and procedures
 - n. Public school attendance alternatives within the county
 - o. Employee return rights
 - p. School closure procedures
5. The petition does not include a declaration of whether the charter school shall be deemed the exclusive public school employer of its employees under the Educational Employment Relations Act.

Additionally, for a material revision proposing to expand operations to one or more additional sites or grade levels, the chartering authority may make written factual findings supporting denial, setting forth specific facts to support one or more of the following:

- The charter school is demonstrably unlikely to serve the interests of the entire community in which the school is proposing to locate. The analysis of this finding shall include consideration of the fiscal impact of the proposed charter school. (Ed. Code, § 47605 (c)(7).)
- The school district where the charter will locate is not positioned to absorb the fiscal impact of the proposed charter school. (Ed. Code, § 47605(c)(8).)

Analysis under these community interest and fiscal impact criteria “shall be limited to consideration only of the impact of the proposed material revision.” (Ed. Code, § 47607(a)(4).)

Finally, charter petitions are also required to include a description of the facilities to be utilized by the proposed charter school, how administrative services will be provided, potential civil liabilities for the chartering authority, and a three-year projected operational budget and cash flow. (Ed. Code, § 47605.6(h).)

Petitioner Appeal Rights

If the Board approves the Petition, the proposed revisions will be incorporated into the Charter Petition, and the Charter School may begin serving students at the additional facilities and through its new programs. If the Board denies the Charter Petition, the Charter School will have no appeal rights to the State Board of Education, because a material revision to a charter petition may be made only with the approval of the chartering authority. (Ed. Code, § 47607(a)(3).)

ANALYSIS AND PROPOSED FINDINGS

Requirement 1: Whether the charter school presents an unsound educational program for the pupils to be enrolled in the charter school.

The Material Revision expands the number of seat-based educational programs offered by River Springs. The Hemet Academy of Arts will provide a five-day seat-based program at its Hemet Student Center. Additionally, the Orchard Academy will provide a five-day seat-based program at the Riverside Van Buren Student Center. Additionally, the change to the Cherry Valley Student Center represents a programmatic shift for that location, going from a drop-in learning center to a hybrid program with a three-day in-person attendance expectation. The other new program offerings are described as either a rebranding of previous offerings or additional supplemental online resources.

This programmatic change at Cherry Valley was previously implemented without prior approval by RCOE staff or the Board. As a charter school authorized by the Board, RCOE assumes “supervisorial oversight” responsibilities over the charter school, including conducting site visits.

(Ed. Code, § 47607.32.) Seat-based programs, or hybrid programs within in-person attendance expectations, change how RCOE implements its oversight. For this reason, it is imperative that River Springs accurately apprise RCOE of all River Springs' operational locations and provide RCOE advance notice of key operational changes, including how sites and facilities are used.

Despite the changes, the types of programs are not necessarily new offerings by River Springs. The Charter School has always offered a variety of homeschool, online, hybrid and seat-based programs. Therefore, there is nothing to indicate that the Material Revision presents an unsound educational program.

Requirement 2: Whether petitioners are demonstrably likely to successfully implement the program set forth in the petition.

River Springs has demonstrated a history of successfully implementing its programs since it began operation in 2007, and the Material Revision is substantively consistent with the program that has been previously presented and approved by the Board. In evaluating whether River Springs will successfully implement the program set forth in the Material Revision, staff reviewed River Springs' updated cash flow projections and multi-year projections, which were submitted with the Renewal Petition. With the additional information requested by staff, they determined that the projections are reasonable. The staff's questions and the school's response are found in Attachment A.

RCOE also evaluates the charter school's fiscal management and governance to determine whether a charter school is likely to successfully implement the program. RCOE has previously expressed its concerns to River Springs regarding its oversight of consultants. In particular, RCOE observed multiple errors in River Springs' audits. These errors included submitting different versions of audits (consolidated and unconsolidated) to various government agencies, improper identification of owners of real property, and other technical errors. RCOE brought these concerns to River Springs' attention as early as 2022; however, these errors went uncorrected over the last three fiscal years. While RCOE does not believe these errors were intentional, they underscore the need for River Springs to implement effective oversight of its auditors.

Notwithstanding, given River Springs' experience operating similar programs, the staff have determined that the Petitioners are demonstrably likely to successfully implement the program set forth in the Charter Petition.

Requirement 3: Whether the petition contains a reasonably comprehensive description of the specific elements described in Education Code section 47605.6, subdivision (c)(5)(A-P), including any new requirements for charter schools enacted into law after the charter was originally granted or last renewed.

As addressed in the staff report for the Renewal Petition, River Springs provides a reasonably comprehensive description of the specified elements as well as updates for new requirements

since the renewal petition was approved in 2018. The Material Revision in conjunction with the Renewal Petition satisfies this requirement.

RECOMMENDATION

It is recommended that the Board take action to either grant or deny the proposed Petition. The Board has the following options:

1. GRANT the Material Revision Petition, based on the findings required by Education Code section 47605.6, provided that the Charter School enters into an MOU with RCOE, prior to the 2026-27 school year, addressing any findings the Board may identify at its Board meeting that are not addressed in this Staff Report.
2. DENY the Material Revision Petition, based on the findings required by Education Code section 47605.5. Because no proposed findings are identified in this Staff Report, if the Board denies the Petition, it should adopt written findings of fact concluding the Petition did not meet the requirements of Education Code section 47605.5



SPRINGS CHARTER SCHOOLS

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Date: December 19, 2025

Riverside County Office of Education
Charter Schools Division
3939 13th Street
Riverside, CA 92501

Dear Corey and Team,

Thank you for your review of the River Springs Charter School Renewal Petition and Material Revision. We appreciate the opportunity to provide the additional information requested to support RCOE's fiscal and operational analysis.

Enclosed please find clarification and documentation addressing each item outlined in your correspondence. This includes updated multi-year net position projections for fiscal years 2026–27 through 2030–31, detailed enrollment growth projections by program and site, descriptions of planned program expansions and their operational impacts, and comprehensive facility and lease information associated with the school's LLCs.

We have also provided detailed specifications, budget information, and enrollment projections for the new Hemet Academy for the Arts Student Center on Florida Avenue and the Arbor (Riverside Van Buren) Student Center, along with justification for the Hemet relocation and confirmation that all related lease and operational costs are fully incorporated into the multi-year financial projections. Supporting schedules and tables are included in the appendix as referenced throughout our responses.

We appreciate RCOE's continued collaboration throughout the renewal process and remain available should additional information or clarification be needed as you complete your review.

Sincerely,

A handwritten signature in black ink, appearing to read "Kathleen Hermsmeyer".

Kathleen Hermsmeyer, Ed.D.
Superintendent
Springs Charter Schools

River Springs Charter School's responses are highlighted in blue below.

From RCOE: Following our review of the River Springs Charter School Renewal Petition and Material Revision, we are requesting additional information to complete our fiscal and operational analysis. Please provide clarification and documentation for the items outlined below:

Renewal Petition – Requested Information

● Net Position Projections

- Multi-year net position projections for 2026–27 through 2030–31 (including beginning and ending balances and all components).

The Table of Net Position is attached as an appendix as Table 1.

● Enrollment Growth Details

- Identification of where projected enrollment growth will occur.
- Clarification on expected growth in classroom-based vs. non-classroom-based programs.
- Identification of which sites will absorb additional students and whether current facilities can support projected increases.

The projected growth at River Springs is as follows (See Tables 2 and 3 attachments for detailed historical and projected enrollment information by program):

● Non-Classroom Based:

- The charter is projecting that five-day/week homeschool enrollment will slow down as online programs become more popular. We are projecting 5% Homeschool growth each year.
- Online programs are projected to grow at approximately 10% each year, which is conservative based on recent historical data and popularity.
- Hybrid academy programs are projected to grow between 3-4% each year as there are some seats open in two of the TK-8 centers and two of the high school centers. Also, with the opening of the Corona Mosaic program this year, there will also be additional cohorts added as interest has peaked with community awareness.

● Classroom-Based:

- Most of the seat-based academies are full. However, currently there are four classroom-based centers with room for growth due to facility expansion in each cohort (Corona Student Center on Compton, Cherry Valley, FAPA and Palm). River Springs expects these final seats to fill in the coming years. Further, with the opening of the new Riverside Van Buren “Arbor” Student Center and the replacement larger student

center, Hemet Florida Avenue, over the next two years, the classroom-based academy programs at River Springs are projected to have an average total of 5% growth each year. While it is expected that this will be exceeded, staff have budgeted revenues conservatively.

- **Combined:**

- Schoolwide, we anticipate annual growth of 4.5 to 5.7% annually.

- **Program Expansion**

- Description of any programs expected to expand and the anticipated operational impact.

The following programs are expanding:

- Corona: both of the Corona facilities, the original Corona Student Center-now “Little Springs” and the new Corona Student Center on Compton Ave. will be expanding over the next couple of years. The new Compton Ave facility will house the home-based learning labs and will expand cohorts in both the Mosaic and DaVinci programs. The “Little Springs Kinder Center” will become an all TK/K building and is expected to grow considerably over the next few years, as almost every River Springs hybrid and seat-based program has a waitlist for TK. (See floorplan attached, Exhibit A)
- Riverside/Van Buren: This new facility is an expansion, as described below. (See floorplan attached, Exhibit B)
- Hemet/Florida Avenue: This new facility is an expansion, as described below. (See floorplan attached, Exhibit C)
- Palm: The current cohorts are full and River Springs is expecting to add new cohorts in the coming years through more efficient utilization of the double classrooms.
- Cherry Valley: The six-classroom expansion at this site will allow for additional cohorts to decrease the waitlist for this program. (See floorplan attached, Exhibit D)
- FAPA: As enrollment increases, new cohorts will be added to the high school program, as needed.
- The operational impact for all expansions are reflected in the overall MYPs in both projected revenue and anticipated expenditures.

- **Facilities and Rent Expenditures (LLCs)**

- A schedule listing each facility associated with rent costs attributed to the school's five LLCs.
 - Lease terms, ownership status, and cost details for each facility.

Please see “Table 4 - LLC-Related Facility Schedule” in the appendix to this letter. Please note that there are only four LLCs total. LLC III serves as the owner and lessor on both the 2017A Bonds and 2023AB Bonds.

- **New Facilities Referenced in the Petition**

- Clarification on whether the two newly referenced sites are owned or leased.
- Confirmation on whether these facilities are included within the LLC-related rent expenditures.
- Any associated financial impact.

The two newly referenced sites are (a) the new Hemet Learning Center - Florida Ave. and (b) the new Corona location at Compton Ave.

The Hemet/Florida location was acquired by LLC IV through the 2024 Sunflower Bank Loan, and is being leased to River Springs. As LLC IV is wholly controlled by River Springs, it is effectively owned by the River Springs organization. All rent paid by River Springs to LLC IV is for full use of the improved LLC-owned facility, and is shown in Table 4.

The 2024AB Sunflower Loan proceeds are being used to substantially improve the Compton/Corona property, but it is not owned by River Springs or its LLC. Compton/Corona location is leased by LLC IV from Realty Incom Corp, an unrelated third-party real estate firm, and subleased as improved to River Springs. The rent expenditures shown in Table 4 are for the full use of the improved facility by River Springs, but LLC IV does not own that property.

All lease costs are fully included in the Financial Projections as well as operating costs and other associated financial impacts.

Material Revision – Requested Information

- **New Facility Specifications**

- Detailed descriptions of the Hemet Student Center (new site) and the Riverside Van Buren Student Center, including square footage, capacity, ownership/lease status, and any planned improvements.

Hemet Student Center (Florida Ave/Hwy 74) - We are developing 20 classrooms in 36,207 s.f., with a PUP (Public Use Permit) for 600 (553 students). We purchased and own the building via our LLC IV, and a tenant improvement set of plans has been developed to convert existing church space into classroom space using existing buildings only. We are also developing a play space including soccer, basketball, handball, and pickleball courts.

Riverside Student Center (Van Buren) - We purchased the building on Van Buren via LLC IV and have stamped approved plans to improve an existing school building with PUP (Public Use Permit) of 500 students. 16 classrooms in 24,467 s.f.

- **Facility Costs**

- Budget details for acquiring, renovating, or operating the proposed facilities.

Acquisition and Renovation Budgets are included in the appendix as Tables 5 (Riverside/Van Buren) and 6 (Hemet/Florida). Operations for each facility are included in the Financial Projections.

- **Projected Enrollment for New Sites**

- Enrollment projections for both the Hemet and Riverside Van Buren locations, including anticipated grade levels and program types.

- The Hemet location will be a seat-based TK-8 academy program which will focus on the arts and also house the TK-12 home-based learning labs classes. Springs has projected beginning with four academy cohorts in 2027-28, and growing by two cohorts each year thereafter. These estimates are very conservative considering the waitlists and interest at the other Hemet/San Jacinto locations. As for the anticipated grade levels and program types, page 46 of the petition shows:

Hemet Student Center ("Hemet Academy for the Arts") 45252 Florida Ave, Hemet	Academy for the Arts TK-8 [5 days on campus; SB] Learning Lab TK-12 [up to 2 days on campus, per choices; NCB] Projected opening fall 2026 or 2027
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- The Riverside Van Buren location will house a new academy program and a TK-12 learning lab, which will add new, rich, unique opportunities for the city of Riverside. Opening in 2026-27, Springs projects that this site will begin with four cohorts of academy students, which is extremely conservative based on the already lengthy interest list. This site is also projected to have a two-cohort growth for each year thereafter. As for the grade levels and program types, page 47 of the petition shows:

Riverside Van Buren Student Center ("Arbor Student Center") 17241 Van Buren Blvd, Riverside	Orchard Academy TK-8 [5 days on campus; SB] Learning Lab TK-12 [up to 2 days on campus, per choices; NCB] Projected opening fall 2026 or 2027
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- **Hemet Relocation and Riverside Van Buren Site Details**

- Rationale and justification for the expansion of services and programs at the Hemet Student Center location.

The Hemet Student Center on Florida Avenue will house the TK-12 Home-based Learning Labs and a new 5-day-per-week classroom-based academy program, Academy of the Arts, which will be a

tremendous asset to that community (see chart copy above). As it stands now, the TK-5 Hemet Student Center on Acacia has been full for a number of years with a waitlist, and the facility itself is impacted and does not provide the necessary space for our programmatic needs. Further, the Renaissance Valley Academy in nearby San Jacinto is full and has a waitlist for grades 6-8. With the popularity of the two current programs, and this new facility focusing on the arts, Springs is confident that this center will thrive. The current Learning Lab facility at Girard has been a part of the Springs network for two decades and it is time to move those home-based students into a new, robust facility where there can be a richer focus on visual and performing arts and other expanded elective choices, as well as create the opportunity for a new arts-based academy program in this area.

- Financial impact of relocating the Hemet Student Center to a larger facility.

The financial impacts of relocating the Hemet Student Center to the new Hemet/Florida facility are anticipated to be wholly offset from the benefits of the proposed new arts academy program, which will generate ADA-based revenue and also allow for partial reimbursement of that program's pro-rata facility usage through the Charter School Facility Grant Program, which reimburses up to 75% of lease expenses. Even after taking additional moving expenses and new operating costs into account, this move is anticipated to be a net financial benefit, and this is incorporated into our Multi-Year Financial Projections included in our petition.

- Confirmation that costs related to the new facility are included in the multi-year budget.

Confirmed. All lease and operational costs for all facilities, including each facility discussed herein, are included in the Multi-Year Financial Projections.

- Facility specifications and financial information for the proposed Riverside location, which were not provided in the submission.

The facility and financial information for the Riverside Van Buren location are included above and in Table 4 - there is no other proposed new Riverside location.

TABLE 1
MULTI-YEAR NET POSITION PROJECTIONS

	Projected 2026-27	Projected 2027-28	Projected 2028-29	Projected 2029-30	Projected 2030-31
Total Revenue	\$147,397,274	\$159,872,398	\$171,287,042	\$184,168,007	\$198,467,302
Total Expenditures	\$144,815,488	\$156,221,556	\$167,894,315	\$179,781,702	\$192,914,135
Revenues less Expenditures	\$ 2,581,786	\$ 3,650,842	\$ 3,392,727	\$ 4,386,305	\$ 5,553,167
Beginning Net Position July 1	46,496,801	49,078,587	52,729,430	56,122,156	60,508,461
Revenues less Expenditures	2,581,786	3,650,842	3,392,727	4,386,305	5,553,167
Ending Net Position June 30	49,078,587	52,729,430	56,122,156	60,508,461	66,061,628
<u>Components of Ending Net Position</u>					
Net Investment In Capital Assets	11,728,292	11,728,292	11,728,292	11,728,292	11,728,292
Restricted Net Position	378,492	378,492	378,492	378,492	378,492
Unrestricted Net Position (REU)	36,971,803	40,622,646	44,015,372	48,401,677	53,954,844
TTL Ending Net Position	49,078,587	52,729,430	56,122,156	60,508,461	66,061,628
<u>Reserve For Econ. Uncertainty (REU)</u>					
as % of Expenditures	25.5%	26.0%	26.2%	26.9%	28.0%

TABLE 2
HISTORICAL AND PROJECTED ENROLLMENT BY PROGRAM

Program Name	HISTORICAL							ACTUAL 12-18-25	PROJECTED				
	2018-19	2019-20	2020-21	2021-22	2022-23	2023-24	2024-25		2025-26	2026-27	2027-28	2028-29	2029-30
Homeschool	1,488	1,491	1,631	1,581	1,745	1,973	2,202	2,412	2,455	2,580	2,705	2,830	2,955
Virtual Academy	350	306	284	316	273	291	187	277	261	275	288	303	318
Venture Online								325	353	388	427	470	517
Connections Academy								265	243	267	294	324	356
Temecula Student Center	722	702	759	589	587	609	552	537	558	568	578	588	598
Hemet Quest Student Center	778	507	600	492	551	557	583	548	558	558	558	558	558
Hemet Student Center (Florida)										100	150	200	250
Palm Student Center	58	65	91	56	80	145	153	151	162	172	182	192	202
Murrieta Student Center	507	533	627	503	535	572	615	595	609	609	609	609	609
iShine Student Center	483	491	531	413	419	478	445	432	462	477	492	507	522
Magnolia Student Center	718	743	761	697	744	785	768	767	777	777	777	777	777
Corona Student Center	208	228	219	166	182	190	200	101	32	32	32	32	32
Corona Student Center II (Compton)								135	281	356	431	506	581
Bear River Student Center	595	607	638	589	651	674	711	661	668	668	668	668	668
Riverside Student Center	308	291	295	235	282	337	241	242	249	259	269	279	289
Riverside Student Center II (Van Buren)									100	150	200	250	300
Flabob Airport Center	109	127	165	129	109	110	119	100	117	127	137	147	157
Renaissance Valley Academy		476	589	542	554	482	562	655	690	700	710	720	730
Del Rio Student Center		103	173	136	174	175	178	203	215	215	215	215	215
Cherry Valley Student Center						170	187	221	225	250	275	300	325
Total	6,324	6,670	7,363	6,444	6,886	7,548	7,703	8,627	9,016	9,528	9,998	10,474	10,959

TABLE 3
HISTORICAL AND PROJECTED ENROLLMENT - % CHANGE FROM PRIOR YEAR

Program Name	HISTORICAL						ACTUAL 12-18-25	PROJECTED				
	2019-20	2020-21	2021-22	2022-23	2023-24	2024-25		2025-26	2026-27	2027-28	2028-29	2029-30
Homeschool	0%	9%	-3%	10%	13%	12%	10%	2%	5%	5%	5%	4%
Virtual Academy	-13%	-7%	11%	-14%	7%	-36%	48%	-6%	5%	5%	5%	5%
Venture Online								9%	10%	10%	10%	10%
Connections Academy								-8%	10%	10%	10%	10%
Temecula Student Center	-3%	8%	-22%	0%	4%	-9%	-3%	4%	2%	2%	2%	2%
Hemet Quest Student Center	-35%	18%	-18%	12%	1%	5%	-6%	2%	0%	0%	0%	0%
Hemet Student Center (Florida)									50%	33%	25%	
Palm Student Center	12%	40%	-38%	43%	81%	6%	-1%	7%	6%	6%	5%	5%
Murrieta Student Center	5%	18%	-20%	6%	7%	8%	-3%	2%	0%	0%	0%	0%
iShine Student Center	2%	8%	-22%	1%	14%	-7%	-3%	7%	3%	3%	3%	3%
Magnolia Student Center	3%	2%	-8%	7%	6%	-2%	0%	1%	0%	0%	0%	0%
Corona Student Center	10%	-4%	-24%	10%	4%	5%	-50%	-68%	0%	0%	0%	0%
Corona Student Center II (Compton)									27%	21%	17%	15%
Bear River Student Center	2%	5%	-8%	11%	4%	5%	-7%	1%	0%	0%	0%	0%
Riverside Student Center	-6%	1%	-20%	20%	20%	-28%	0%	3%	4%	4%	4%	4%
Riverside Student Center II (Van Buren)									50%	33%	25%	20%
Flabob Airport Center	17%	30%	-22%	-16%	1%	8%	-16%	17%	9%	8%	7%	7%
Renaissance Valley Academy		24%	-8%	2%	-13%	17%	17%	5%	1%	1%	1%	1%
Del Rio Student Center		68%	-21%	28%	1%	2%	14%	6%	0%	0%	0%	0%
Cherry Valley Student Center					10%		18%	2%	11%	10%	9%	8%
Total	5.5%	10.4%	-12.5%	6.9%	9.6%	2.1%	12.0%	4.5%	5.7%	4.9%	4.8%	4.6%

TABLE 4
LLC-RELATED FACILITY SCHEDULE

Owner/Lessor	Related Financing Obligations	Facility Name	Address	Lease Term	Monthly Lease
River Springs Facilities LLC	2022AB Bonds	Palm Academy Student Center	81840 Avenue 46, Indio	2061	16,398
River Springs Facilities LLC	2022AB Bonds	Murrieta Student Center	41863/6 Kalmia St., Murrieta	2061	36,227
River Springs Facilities II LLC	2022CD Bonds	Magnolia Student Center	4020 Jefferson Street, Riverside	2046	59,308
River Springs Facilities II LLC	2022CD Bonds	iShine Student Center	42145 Lyndie Lane, Temecula	2046	37,795
River Springs Facilities II LLC	2022CD Bonds	Pathfinder Student Center	4260 Tequesquite Avenue, Riverside	2046	18,606
River Springs Facilities II LLC	2022CD Bonds	Temecula Administrative Facility	27740 Jefferson Avenue, Temecula	2046	39,539
River Springs Facilities III LLC	2017A Bonds ¹	Bear River Student Center	26800 Newport Road, Menifee	2052	40,858
River Springs Facilities III LLC	2017A Bonds ¹	Temecula Student Center	43040 Margarita Road, Temecula	2052	56,030
River Springs Facilities III LLC	2017A Bonds ¹	Flabob Airport Facility	5580 42 nd Street, Riverside	2052	25,060
River Springs Facilities III LLC	2023AB Bonds	(Schoolwide Solar Project)	(Schoolwide)	2061	41,428
River Springs Facilities IV LLC	2024AB Sunflower Loan ²	Riverside Student Center (Van Buren)	17241 Van Buren Blvd., Riverside	2031	37,318
River Springs Facilities IV LLC	2024AB Sunflower Loan ²	Hemet Student Center (Florida)	45252 E Florida Ave., Hemet	2031	50,861
River Springs Facilities IV LLC	2024AB Sunflower Loan ²	Corona Student Center (Compton) ³	2115 Compton Ave., Corona	2031	31,350
River Springs Facilities IV LLC	2024AB Sunflower Loan ²	Cherry Valley Student Center ³	10257 Beaumont Ave., Cherry Valley	2031	21,092
River Springs Facilities IV LLC	2024AB Sunflower Loan ²	Central Kitchen ³	41662 N Enterprise Cir. B&C, Temecula	2031	8,441

¹ 2017A Bonds restructured from direct debt into LLC lease obligation in 2023.

² Sunflower Loan is anticipated to be refinanced in 2027-28 to reduce annual lease payments.

³ 2024AB leases for Corona/Compton, Cherry Valley, and Central Kitchen are for usage and tenant improvements only - the facilities themselves are owned by independent third parties, not LLC IV.

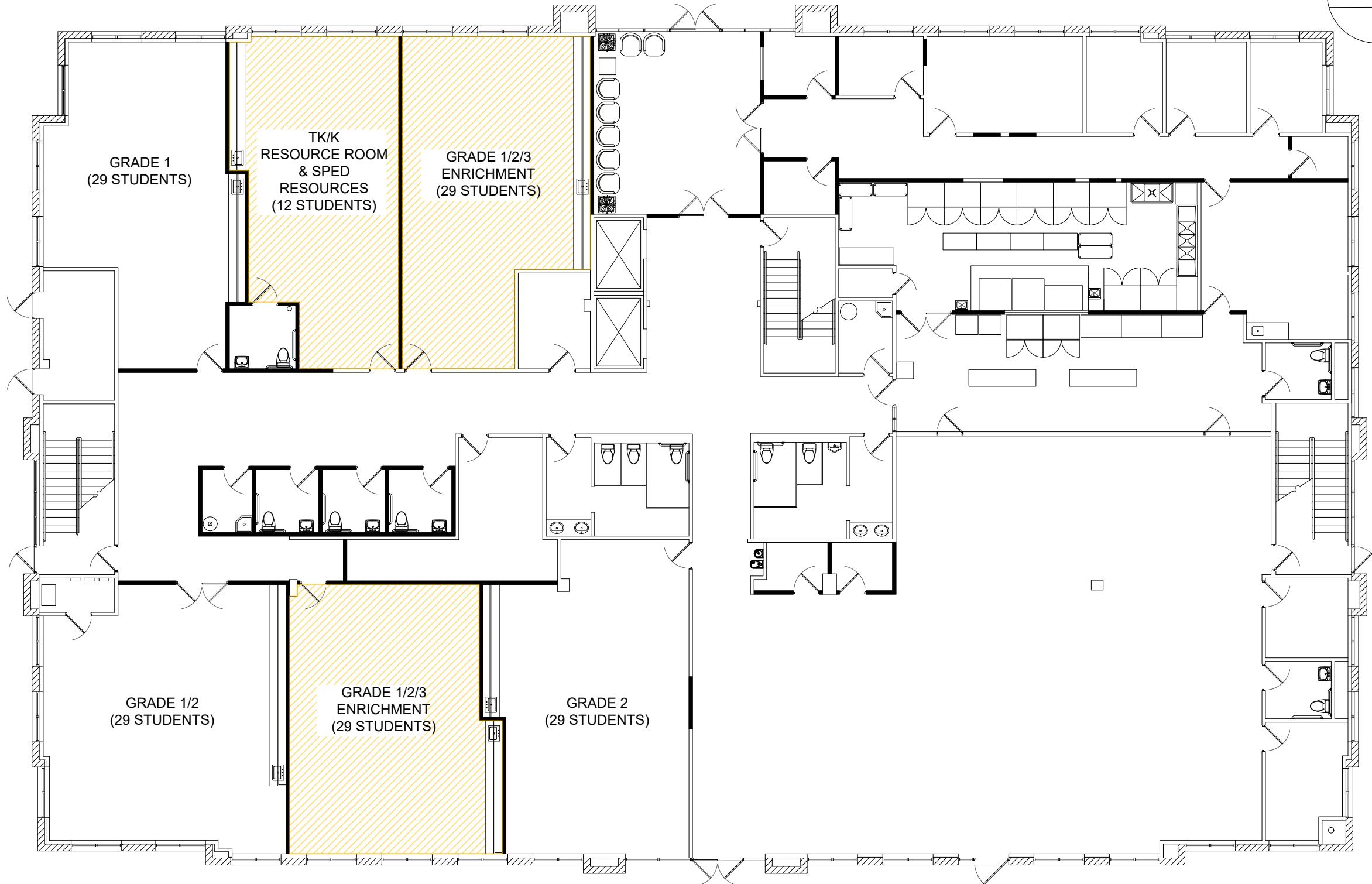
TABLE 5 - RIVERSIDE / VAN BUREN BUDGET (preliminary, subject to change)

Category		Contractor/Vendor	Budget
Purchase			3,550,000
Pre-lim Expenses	Architect Traffic Engineer County of Riverside County of Riverside Due Diligence	Kolibriren LOS Engineering PUP Fees Building Permit Soils, Phase I, Property Inspections	50,000 20,000 20,000 10,000 25,000
Construction Costs:	Tenant Improvements Deferred Maintenance	HVAC & Roof	1,750,000 450,000
FFE			
	Kitchen Equipment/Service Area Signage Locksmith Bike Racks Window Tint/Covering Shade Structure Playground Equipment Picnic Tables	warming kitchen for 14 classrooms \$125/window \$1,500/each Uline picnic table	150,000 12,000 5,000 3,000 5,000 60,000 75,000 30,000
Furniture	Classrooms MPR Collaborative Space Conference Room Office/Nurse/Reception Teacher Lounge/Break Room	14 classrooms at \$15,000/ea 1,800 sq est.	210,000 50,000 10,000 5,000 15,000 1,500
Technology	Classroom Technology - Interactive Digital Board Site Technology (WAP, drops, rack, phones, switches) WAP & License \$575/each need 1/room Firewall \$1,500/each Drops/Cabling/CAT6 \$125/each, every WAP & Door Switch/Module/License Qty 3 @ \$6,115/each	\$2,700/each classroom \$10,000 25,000 1,500 5,000 20,000	37,800 10,000 25,000 1,500 5,000 20,000
Security	Security - Surveillance, cameras, alarm Security - Access Controls & door intercom (\$1,200) Intercom (speaker, cover, drop, license) \$1,200/ea Intercom (outside horn) \$500/ea Security - Fencing Security System - Burglar Alarm Security - security window film on front doors	Verkada System Verkada System Zoom Intercom System Zoom Intercom System Fence & automated gate -	100,000 2,400 18,000 500 50,000 20,000
Moving	Cleaning Service exterior trash cans Startup Supplies (Uline, Maintex) Traffic/Site Start up supplies Labor		3,000 2,000 5,000 5,000 1,500
16 classrooms MPR 10 offices 4 collaborative space 2 conference rooms 1 kitchens	24,267 sf PUP 500		Total T.I. \$ 3,263,200 Purchase Price \$ 3,550,000 Total \$ 6,813,200

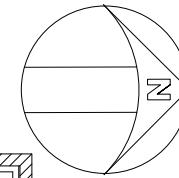
TABLE 6 - HEMET/FLORIDA BUDGET (Preliminary, Subject to Change)

<u>Category</u>	<u>Contractor/Vendor</u>	<u>Budget</u>
Purchase		4,171,900
Pre-lim Expenses	Architect Herron + Rumansoff Traffic Engineer LOS Engineering County of Riverside PUP Fees County of Riverside Building Permit Due Diligence Soils, Phase I, Property Inspections	100,000 30,000 30,000 10,000 35,000
Construction Costs:	Tenant Improvements *dave estimate 6/4/24 Gym T.I. Deferred Maintenance	2,500,000 1,000,000 516,450
FFE		
Kitchen FFE	<u>Kitchen Budget</u>	150,000
	Signage Locksmith Bike Racks Window Tint/Covering Shade Structure Playground Equipment Picnic Tables	12,000 15,000 3,000 \$125/window 60,000 50,000 \$1,500/each Uline picnic table 22,500
Furniture	Classrooms (7 classrooms moving from Girard) Collaborative Space Conference Room Office/Nurse/Reception Teacher Lounge/Break Room	12 classrooms at \$15,000/ea 1 x 2,500 2 x 2,500 10 x 1,500 2 x 1,500
Technology	Classroom Technology - Promethean Board Site Technology (WAP, drops, rack, phones, switches) WAP & License \$575/each need 2/room Firewall \$1,500/each Drops/Cabling/CAT5 \$125/each, every WAP & Door Switch/Module/License Qty 3 @ \$6,115/each	\$2,700/each classroom 10,000 45,000 1,500 10,000 18,000
Security	Security - Surveillance, cameras, alarm Security - Fencing Intercom (speaker, cover, drop, license) \$1,200/ea Intercom (outside horn) \$500/ea Security - security window film on front doors	Verkada Fence & automated gate Zoom Intercom System Zoom Intercom System 100,000 150,000 35,000 1,000 20,000
Moving	Cleaning Service exterior trash cans Startup Supplies (Uline, Maintex) Traffic/Site Start up supplies Labor	3,000 2,000 5,000 5,000 1,500
20 classrooms 6 offices 2 reception areas 1 collaborative space 2 conference rooms 2 kitchens	36,207 sf 600 PUP, 553 students	Total T.I. 5,203,850 Purchase Price 4,171,900 Total 9,375,750

Exhibit A



CLASSROOM ATTENDANCE IS DROP-IN OR 2-DAYS / WEEK



The logo for Springs Charter Schools features the word "Springs" in a large, blue, stylized font. The letter "S" is particularly prominent, with a swoosh underneath it. Above the letter "i", there is a small, blue graduation cap icon. Below the main word, the words "CHARTER SCHOOLS" are written in a smaller, blue, sans-serif font.

SPRINGS CHARTER SCHOOLS FACILITIES
43174 BUSINESS PARK DR, STE 101
TEMECULA, CA 92590

Charter:



REVISION HISTORY

Facility Name:

CORONA COMPTON

Facility Address:

ANSWER

ing Title:
**CORONA COMPTON
CLASSROOM & OCCUPANCY
1ST FLOOR LAYOUT**

Scale NTS Sheet 1/3

Drawn by: _____ Date: _____

A. SEBASTIAN 3/15/2024

Document No.
002-DEV-DWG-PLN-400-1

002-DEV-DWG-PLN-400-1
Sheet No. **PLN 1** Revised

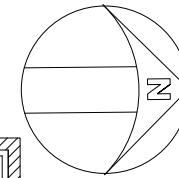
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BLN 1

PLN-1



CLASSROOM ATTENDANCE IS DROP-IN OR 2-DAYS / WEEK



The logo for Springs Charter Schools features the word "Springs" in a large, blue, stylized font. The letter "S" is particularly prominent, with a swoosh underneath it. Above the letter "i", there is a small, blue graduation cap icon. Below the main word, the words "CHARTER SCHOOLS" are written in a smaller, blue, sans-serif font.

SPRINGS CHARTER SCHOOLS FACILITIES
43174 BUSINESS PARK DR, STE 101
TEMECULA, CA 92590



REVISION HISTORY

Facility Name:

CORONA COMPTON

Facility Address:
2115 COMPTON AVE.,
CORONA, CA 92381

Site APN: 278-060-035

Drawing Title:
**CORONA COMPTON
CLASSROOM & OCCUPANCY
2ND FLOOR LAYOUT**

Scale
NTS

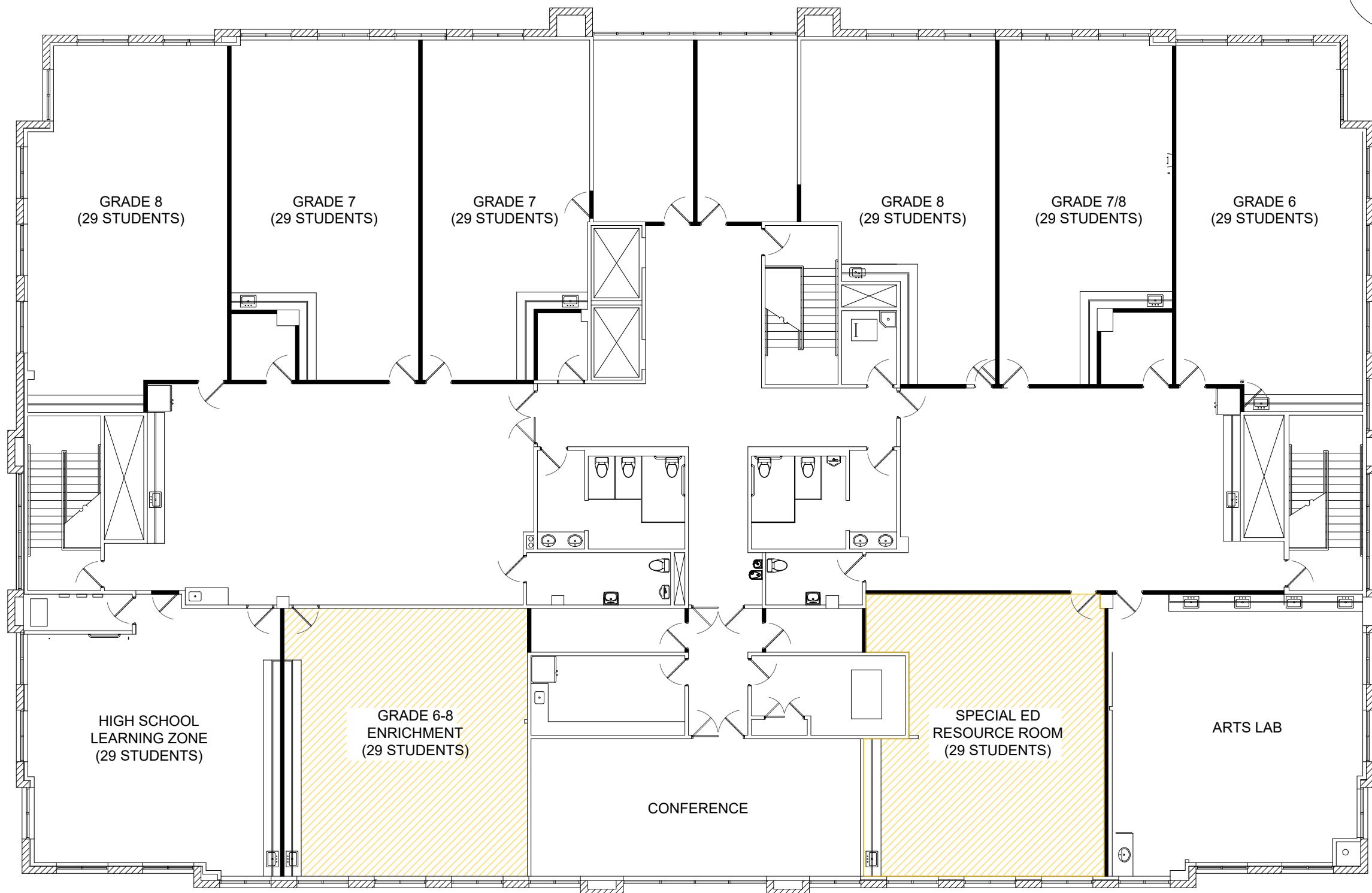
Drawn by: A. SEBASTIAN Date: 3/15/2024

Document No.
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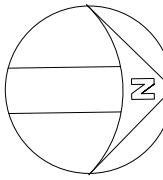
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Sheet No. **PLN 2** Revision **1**

PLN-2

Page 1 of 1



CLASSROOM ATTENDANCE IS DROP-IN OR 2-DAYS / WEEK



SPRINGS CHARTER SCHOOLS FACILITIES
43174 BUSINESS PARK DR, STE 101
TEMECULA, CA 92590

Charter:



REVISION HISTORY

Facility Name:

Facility Address: 2115 COMPTON AVE.,

Digitized by srujanika@gmail.com

Drawing Title: CORONA COMPTON
CLASSROOM & OCCUPANCY
3RD FLOOR LAYOUT

Scale NTS Sheet 3/3

Drawn by: _____ Date: _____

A. SEBASTIAN 3/15/2024

Document No.
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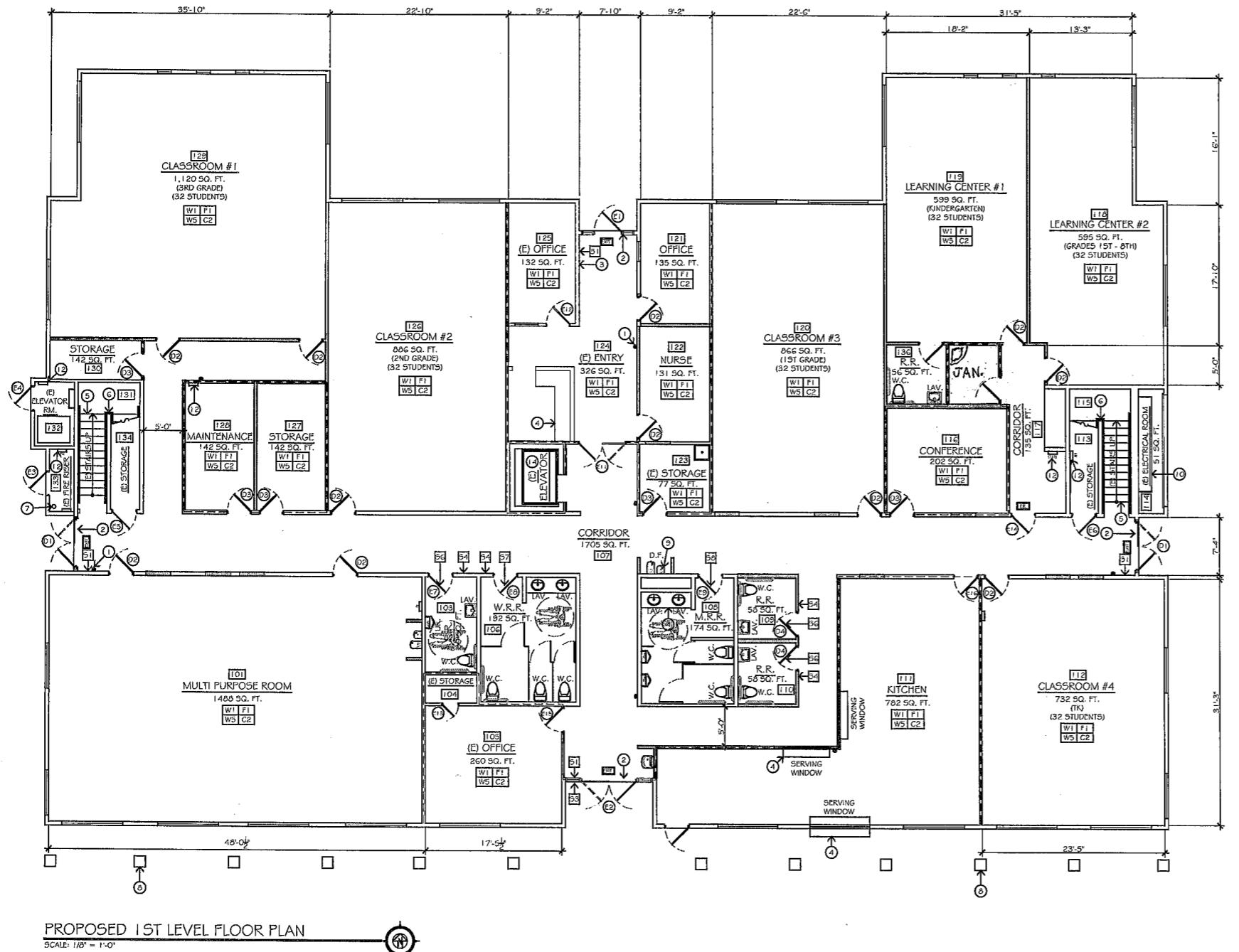
Sheet No. **PLN-2** Revision **002-DEV-DWG-PLN-400-1**

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PLN-400-1

PLN-3 0

Exhibit B



KEYED NOTES

- LOCATION OF FIRE EXTINGUISHER (TYPICAL AS SHOWN). EACH CLASSROOM SHALL BE PROVIDED WITH A 2.5 LB. EXTINGUISHER HAVING A MINIMUM RATING OF 2-A:20-B:C. THE KITCHEN SHALL BE PROVIDED WITH A 2.5 GAL CLASS K TYPE EXTINGUISHER.
- DOOR TO REMAIN UNLOCKED WHILE BUILDING IS OCCUPIED.
- OCCUPANT LOAD SIGN TO BE POSTED IN A CONSPICUOUS PLACE NEAR ALL MAIN ENTRANCES (CBC 1008.1.9.)
- COUNTER SURFACE TO BE MAXIMUM 34" ABOVE FINISH FLOOR.
- INSTALL MINIMUM 2" AND MAXIMUM 4" CONTRASTING STRIPE (WHITE AND DARK) ON 2-STAR RAILING, INCLUDING STAIRWAY CONTRASTING STRIPE TO BE INSTALLED 1" OFF EDGE.
- HANDRAIL HEIGHT, MEASURED ABOVE STAIR TREAD.
- NOISING OF FINISH SURFACE, SHALL BE UNIFORM AND UNINTERRUPTED NOT LESS THAN 3.4" AND NOT MORE THAN 3.8". 2022 CBC SECTION 101.4
- LOCATION OF BUILDING FIRE RISER.
- EXISTING STRUCTURAL COLUMNS TO REMAIN (PROTECT IN PLACE DURING CONSTRUCTION).
- PROPOSED HI-LO DRINKING FOUNTAIN LOCATION.
- LOCATION OF EXISTING MAIN ELECTRICAL SERVICE.
- EXISTING ROOF ACCESS LADDER.
- EXISTING ELECTRICAL SUB PANEL.
- 30X48 CLEAR FLOOR AREA PER CBC 11B-305.3
- EXISTING ELEVATOR COMPLYING WITH 11B-407 TO REMAIN.
- EXISTING WATER HEATER.

WALL LEGEND

SYMBOL	DESCRIPTION
—	PROPOSED 4" WD. MTL. STUDS @ 16" O.C. TYP.
—	LOCATION OF REQUIRED 1 HR. FIRE BARRIER PER UL419 SEE CONSTRUCTION DETAIL ON SHEET A-6.2
—	EXISTING 2X STUD WALL @ 16" O.C.
—	EXISTING WINDOW TO REMAIN

WATER EFFICIENCY SCHD.

FIXTURE NAME	FLOW RATE
SHOWER HEAD FIXTURE	1.6 GPM @ 60 PSI
KITCHEN FAUCET	1.6 GPM @ 60 PSI
LAVATORY	0.5 GPM @ 60 PSI
WATER CLOSET	1.20 GAL / FLUSH
UTILITY FAUCET	1.5 GPM @ 60 PSI

WATER EFFICIENCY SECTION 5.303 OF CALIFORNIA GREEN CODE

ILLUMINATED EXITING SIGNS

EXITS SIGNS SHALL BE ILLUMINATED AT ALL TIMES. INSURE CONTINUED ILLUMINATION FOR A DURATION OF NOT LESS THAN 90-MIN. IN CASE OF PRIMARY POWER LOSS, THE SIGN SHALL BE CONNECTED TO A STORAGE (BACK-UP) BATTERY, UNIT EQUIPMENT OR AN ON-SITE BACK-UP POWER GENERATOR.

KOLIBRIEN
LAND SURVEYING - MEP, CIVIL & STRUCTURAL ENGINEERING - DESIGN
41197 GOLDEN GATE CR, STE. 103
PHONE: (626) 827-7140
EMAIL: INFO@KOLIBRIEN.BIZ
WEB: WWW.KOLIBRIEN.BIZ

R.C.E. NO. 83834
DATE 12/9/2024

PREPARED BY: JOHN H. JOHNSON
SEAL-ENGINEER: PROFESSIONAL ENGINEER JOHN H. JOHNSON
CIVIL ENGINEER JOHN H. JOHNSON
DIP. 3-02-25
STATE OF CALIFORNIA
NOTICE OF COMPLETION
17241 VAN BUREN BLVD.

COMMERCIAL DEVELOPMENT IMPROVEMENT PLANS
SPRINGS CHARTER SCHOOL
17241 VAN BUREN BLVD.
RIVERSIDE, CA 92504

PROJECT TITLE
SHEET DESCRIPTION
PROPOSED 1ST LEVEL FLOOR PLAN

WALL LEGEND

REV BY	DATE	DESCRIPTION

PROJECT NUMBER
XXXXXX

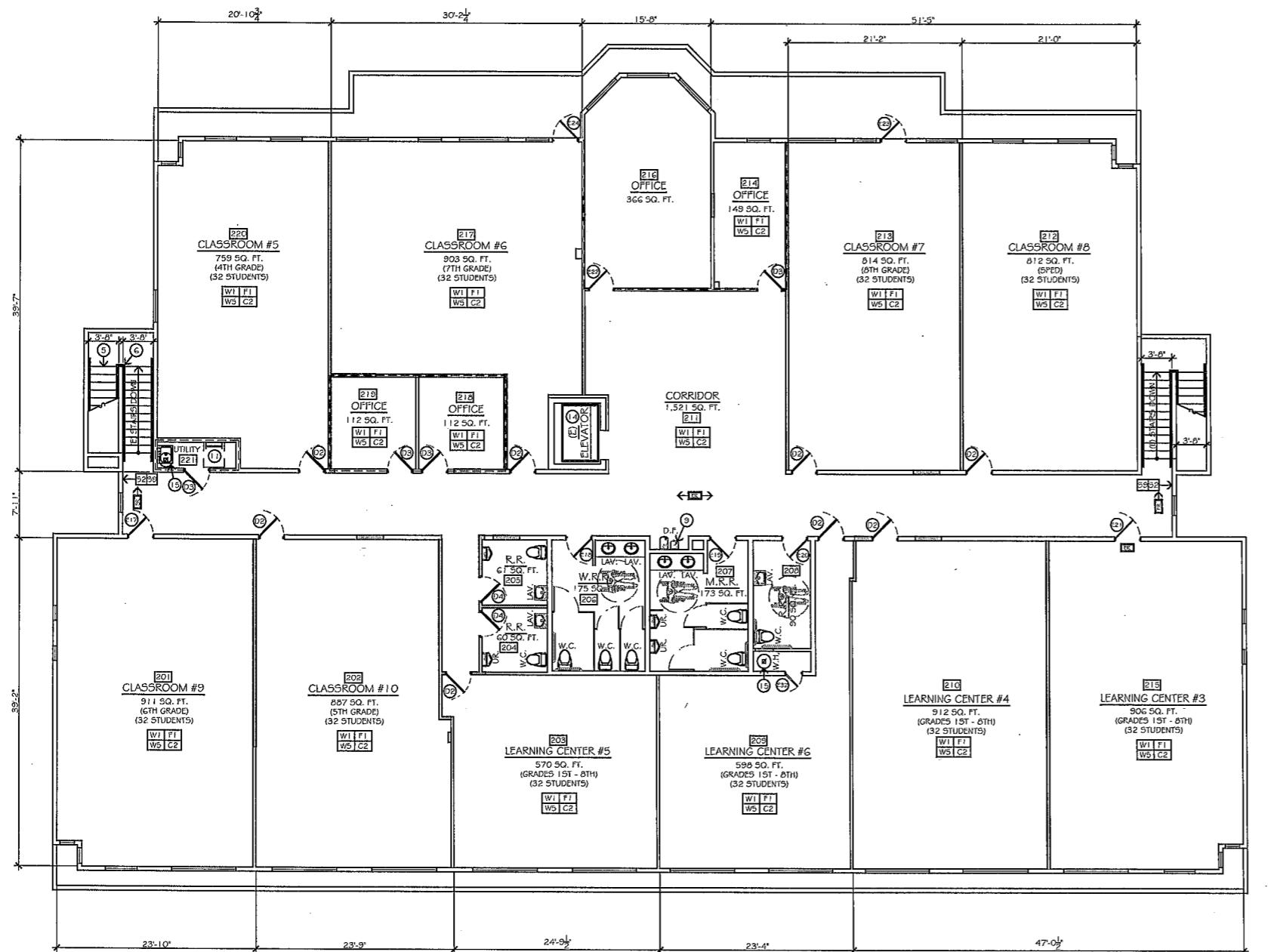
DRAWN BY
AWC

CHECKED BY
JHJ

DATE
12/9/2024

REVISION

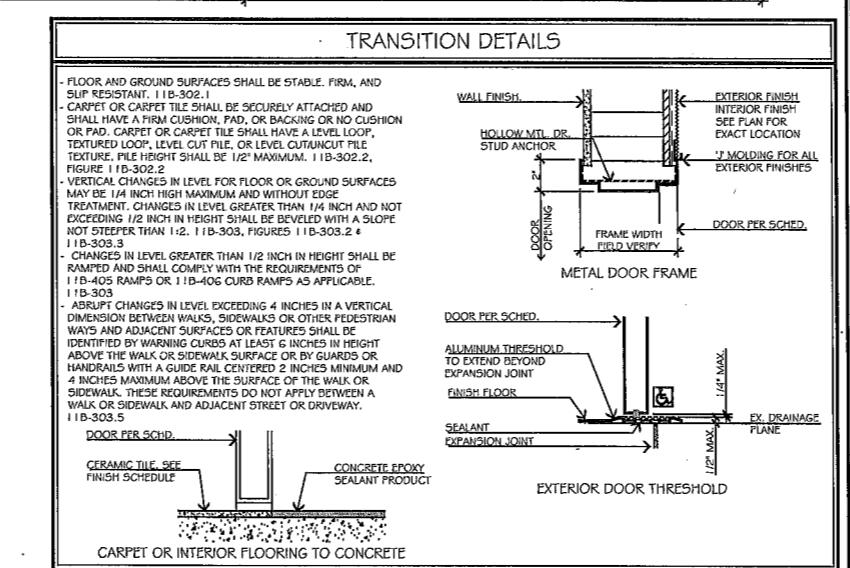
SHEET IDENTIFIER
A-3
SHEET 9 OF



PROPOSED 2ND LEVEL FLOOR PLAN

SCALE: 1/8"

TRANSITION DETAILS



DOOR HARDWARE NOTES

- (1) CLOSER - IT596 SERIES WHEN REQUIRED.
BY: DORMA OR EQUAL
- FLOOR STOP -FS17
BY: IVES OR EQUAL
- ALL STOREROOM HATCHES BY DORMA OR EQUAL

OR SCHEDULE

#	SIZE	THK.	TYPE	REMARKS
EXISTING DOORS				
E1	3'-6" x 7'-0"	1-3/4"	ALUM.	EXISTING 42" STOREFRONT DOOR - SELF CLOSING - NO LATCHING DEVICE PRESENT - NO SPECIAL KNOWLEDGE REQ. TO OPERATE
E2	7'-0" x 7'-0"	1-3/4"	ALUM.	EXISTING DOUBLE 42" STOREFRONT DOOR - SELF CLOSING - NO LATCHING DEVICE PRESENT - NO SPECIAL KNOWLEDGE REQ. TO OPERATE
E3	3'-0" x 7'-0"	1-3/4"	H.C.M.	EXISTING 36" DOOR - SELF CLOSING - NO SPECIAL KNOWLEDGE REQ. TO OPERATE
E4	3'-0" x 7'-0"	1-3/4"	H.C.M.	EXISTING 36" DOOR - SELF CLOSING - NO SPECIAL KNOWLEDGE REQ. TO OPERATE
E5	3'-0" x 7'-0"	1-3/4"	H.C.M.	EXISTING 36" DOOR - SELF CLOSING - NO SPECIAL KNOWLEDGE REQ. TO OPERATE - 1 HR RATED
E6	3'-0" x 7'-0"	1-3/4"	H.C.M.	EXISTING 36" DOOR - SELF CLOSING - NO SPECIAL KNOWLEDGE REQ. TO OPERATE - 1 HR RATED
E7	3'-0" x 7'-0"	1-3/4"	H.C.M.	EXISTING 36" DOOR - SELF CLOSING - NO SPECIAL KNOWLEDGE REQ. TO OPERATE - WI SIGNAGE AND KICKPLATES
E8	3'-0" x 7'-0"	1-3/4"	H.C.M.	EXISTING 36" DOOR - SELF CLOSING - NO SPECIAL KNOWLEDGE REQ. TO OPERATE - WI SIGNAGE AND KICKPLATES
E9	3'-0" x 7'-0"	1-3/4"	H.C.M.	EXISTING 36" DOOR - SELF CLOSING - NO SPECIAL KNOWLEDGE REQ. TO OPERATE - WI SIGNAGE AND KICKPLATES
E10	3'-0" x 7'-0"	1-3/4"	H.C.M.	EXISTING 36" DOOR - NO SPECIAL KNOWLEDGE REQ. TO OPERATE
E11	6'-0" x 7'-0"	1-3/4"	H.C.M.	EXISTING DOUBLE 36" DOOR - SELF CLOSING - NO SPECIAL KNOWLEDGE REQ. TO OPERATE - 20 MIN RATED
E12	3'-0" x 7'-0"	1-3/4"	H.C.M.	EXISTING 36" DOOR - NO SPECIAL KNOWLEDGE REQ. TO OPERATE
E13	2'-0" x 7'-0"	1-3/4"	H.C.M.	EXISTING 24" DOOR - NO SPECIAL KNOWLEDGE REQ. TO OPERATE
E14	3'-0" x 7'-0"	1-3/4"	H.C.M.	EXISTING 36" DOOR - NO SPECIAL KNOWLEDGE REQ. TO OPERATE
E15	3'-0" x 7'-0"	1-3/4"	H.C.M.	EXISTING 36" DOOR - NO SPECIAL KNOWLEDGE REQ. TO OPERATE
E16	3'-0" x 7'-0"	1-3/4"	H.C.M.	EXISTING 36" DOOR - NO SPECIAL KNOWLEDGE REQ. TO OPERATE
E17	3'-0" x 7'-0"	1-3/4"	H.C.M.	EXISTING 36" DOOR - SELF CLOSING - NO SPECIAL KNOWLEDGE REQ. TO OPERATE
E18	3'-0" x 7'-0"	1-3/4"	H.C.M.	EXISTING 36" DOOR - NO SPECIAL KNOWLEDGE REQ. TO OPERATE
E19	3'-0" x 7'-0"	1-3/4"	H.C.M.	EXISTING 36" DOOR - NO SPECIAL KNOWLEDGE REQ. TO OPERATE
E20	3'-0" x 7'-0"	1-3/4"	H.C.M.	EXISTING 36" DOOR - SELF CLOSING - NO SPECIAL KNOWLEDGE REQ. TO OPERATE - WI SIGNAGE AND KICKPLATES
E21	3'-0" x 7'-0"	1-3/4"	H.C.M.	EXISTING 36" DOOR - SELF CLOSING - NO SPECIAL KNOWLEDGE REQ. TO OPERATE - WI SIGNAGE AND KICKPLATES
E22	3'-0" x 7'-0"	1-3/4"	H.C.M.	EXISTING 36" DOOR - SELF CLOSING - NO SPECIAL KNOWLEDGE REQ. TO OPERATE - WI SIGNAGE AND KICKPLATES
E23	3'-0" x 7'-0"	1-3/4"	H.C.M.	EXISTING 36" FRENCH DOOR - SELF CLOSING - NO SPECIAL KNOWLEDGE REQ. TO OPERATE
E24	3'-0" x 7'-0"	1-3/4"	H.C.M.	EXISTING 36" FRENCH DOOR - SELF CLOSING - NO SPECIAL KNOWLEDGE REQ. TO OPERATE

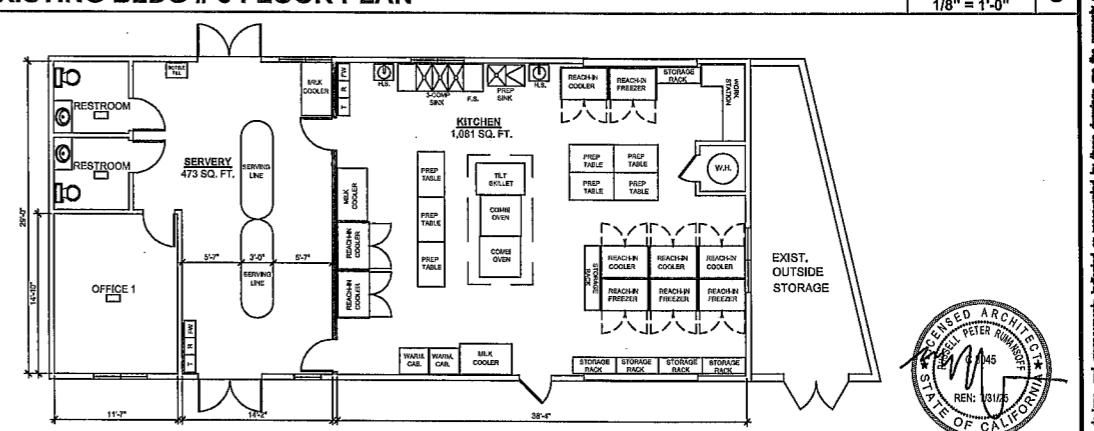
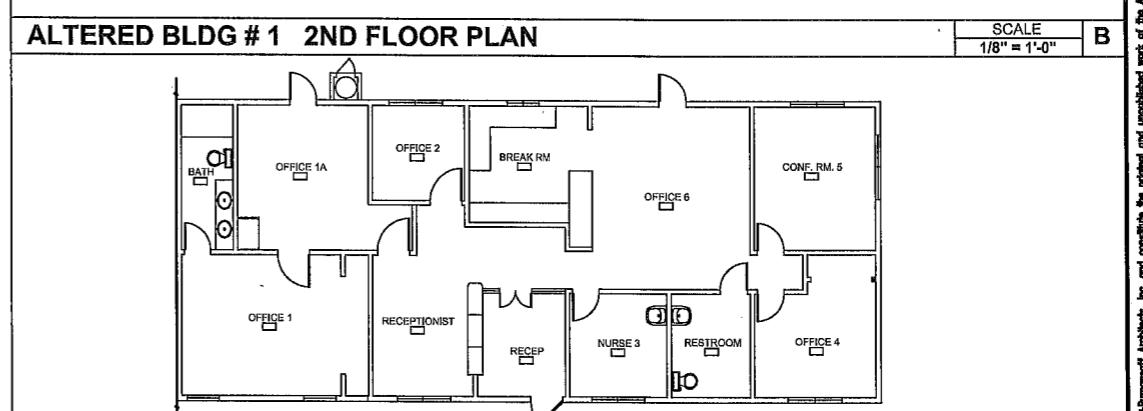
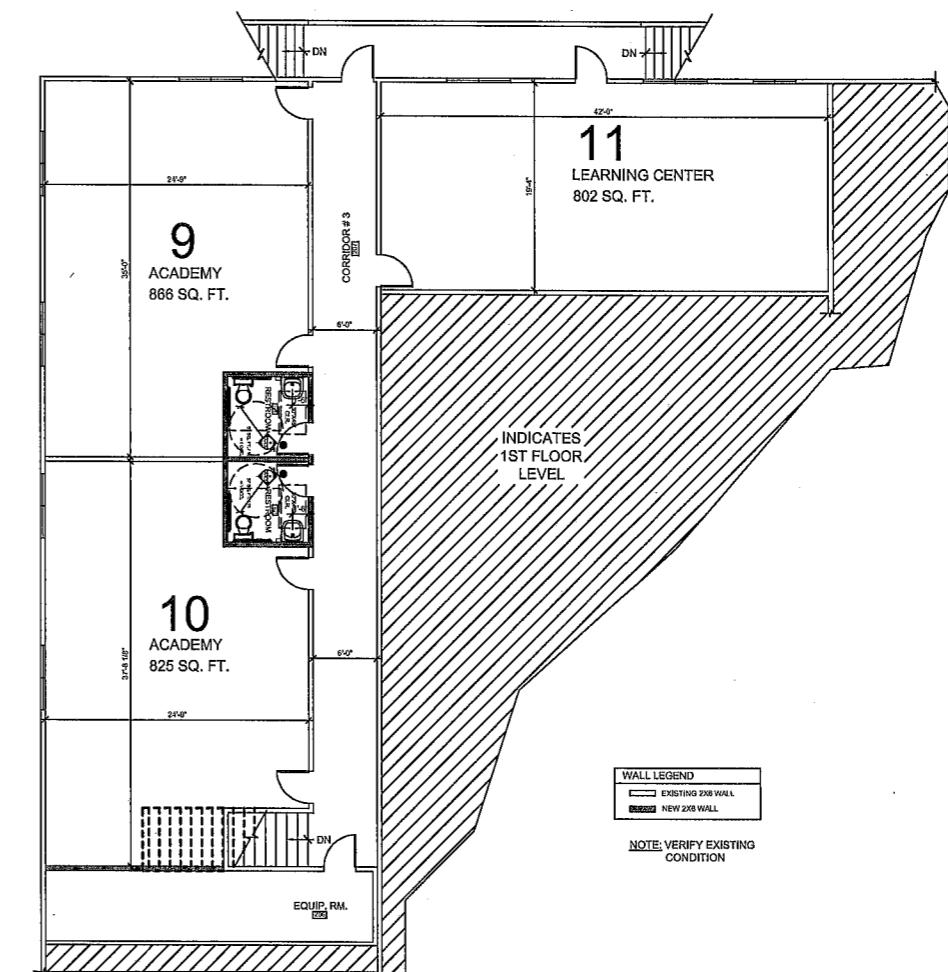
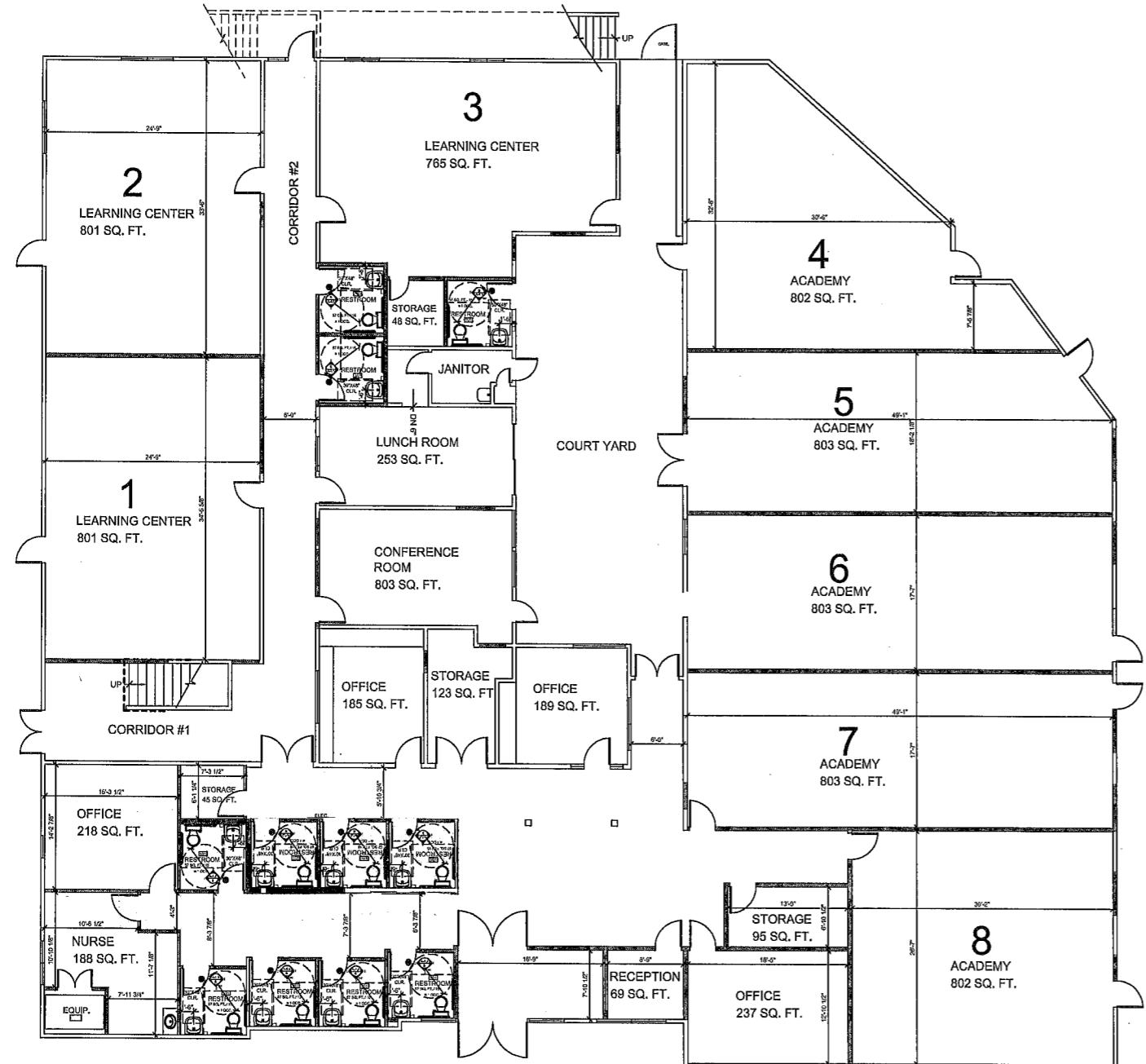
PROPOSED DOORS

#	SIZE	QTY.	THK.	TYPE.	REMARKS
21	6'-0" x 7'-0"	-	5/8"	S.F.	DOUBLE 36" STOREFRONT DOOR - SELF CLOSING - NO LATCHING DEVICE - NO SPECIAL KNOWLEDGE REQ. TO OPERATE -
22	3'-0" x 7'-0"	-	1-3/4"	H.C.M.	36" DOOR - SELF CLOSING - NO SPECIAL KNOWLEDGE REQ. TO OPERATE
23	3'-0" x 7'-0"	-	1-3/4"	H.C.M.	36" DOOR - SELF CLOSING - 20 MIN. RATED - NO SPECIAL KNOWLEDGE REQ. TO OPERATE
24	3'-0" x 7'-0"	-	1-3/4"	H.C.M.	

- ALL HARDWARE TO BE NICKEL PLATED W/ SATIN FINISH U.N.O.
- ALL SINGLE USER RESTROOMS TO HAVE PRIVACY LATCHES & LOCKS.
- LOCKS ON ALL EGRESS DOORS WITHIN A GROUP E OCCUPANCY SHALL BE OF THE PANIC HARDWARE TYPE.

COMMERCIAL DEVELOPMENT IMPROVEMENT PLANS
SPRINGS CHARTER SCHOOL
17241 VAN BUREN BLVD.
RIVERSIDE, CA 92504

COMMERCIAL DEVELOPMENT IMPROVEMENT PLANS
SPRINGS CHARTER SCHOOL
17241 VAN BUREN BLVD.
RIVERSIDE, CA 92504



1ST FLOOR	04-17-24
PUBLIC USE PERMIT SUBMITTAL 07-31-24	
REVIEW DRAINS EASE 09-29-24	
REVIEW DRAFT/CIF 11-05-24	
REVW EXIST & PROPSD RMN 11-21-24	
CLIENT REVIEW 12-12-24	
PROJECT REVIEW 12-17-24	
1ST FLOOR	04-17-24
PROJECT REVIEW 04-17-24	
Issue purpose	date
Architect's signature	

PUBLIC USE PERMIT
RIVER SPRINGS CHARTER SCHOOL
45252 E. STATE HIGHWAY 74
HEMET, CA, 92544

project

951 652-4451

heron + rumanoff
architects, inc.

ALTERED BUILDING 1ST FLR & 2ND FLR
820-11-24
job no. sheet no. stamp description

A-1.3

D

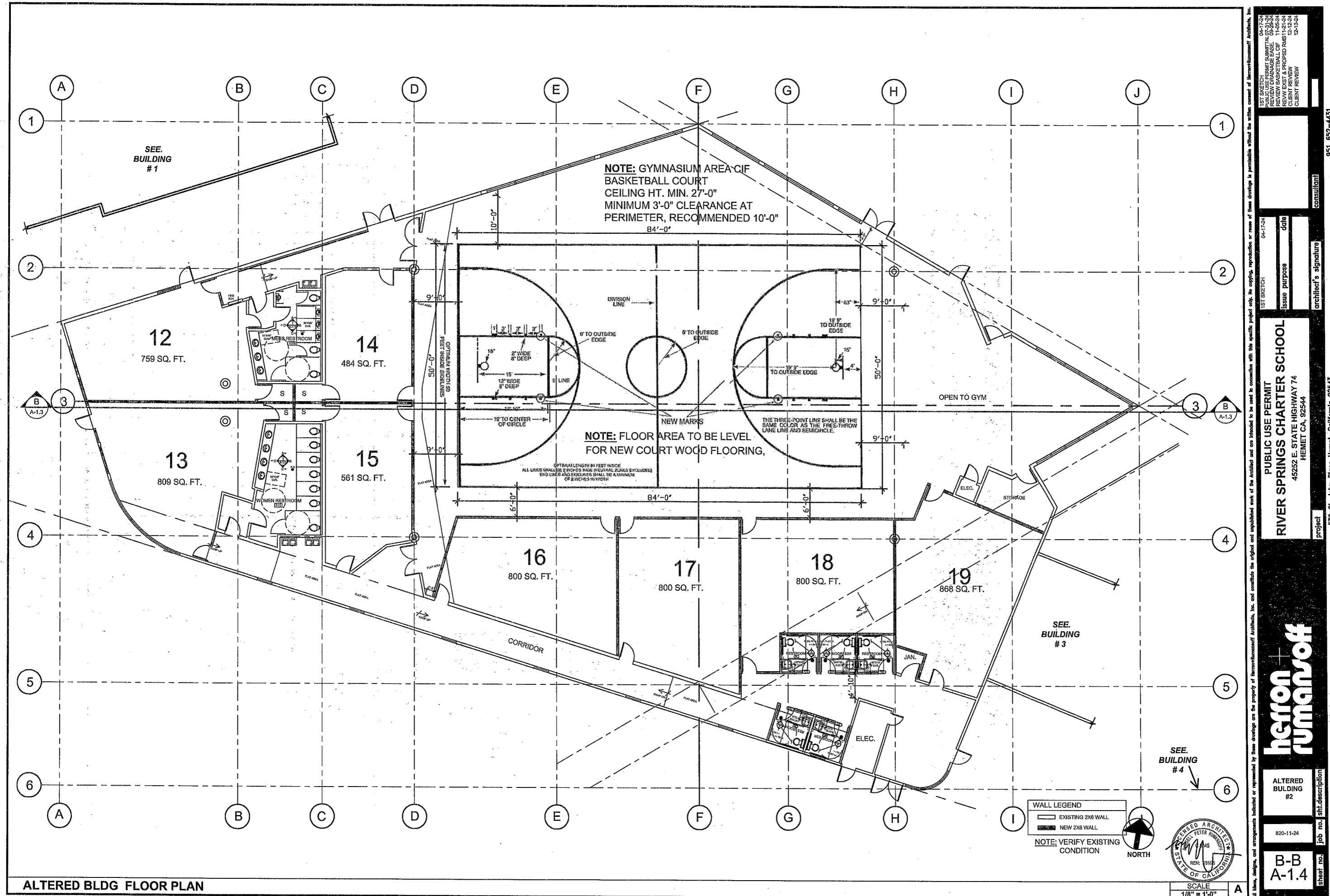


Exhibit D



COLORED SITE PLAN

SCALE:
1" = 30'

LEGEND:

(E) TREE	(E) FIRE HYDRANT	(E) RETAINING WALL	(E) (2801)	(E) MINOR CONTOUR	PROPOSED PLANTING AREA #1
(E) POWER POLE	(E) WATER METER	(E) WALL	(E) (2800)	(E) MAJOR CONTOUR	PROPOSED PLANTING AREA #2
(E) BOLLARD	(E) GAS METER	(E) EDGE OF PAVEMENT	(E) FENCE	(E) SITE FINISH TO REMAIN	DECOMPOSED GRANITE #1
(E) GV	(E) GUY WIRE	(E) X X	(E) CENTERLINE	(E) CENTERLINE	DECOMPOSED GRANITE #2
(E) SIGN	(E) MAILBOX	(E) R/W	(E) (W)	(E) PROPOSED BUILDING	DECOMPOSED GRANITE #2
(E) TBP PLL	(E) ELECTRIC METER	(E) WATER MAIN	(E) (G)	(E) PROPOSED CONCRETE	RECYCLED RUBBER MAT
(E) WATER VALVE	(E) TELECOMMUNICATIONS	(E) GAS MAIN			

LEGEND

SCALE:
N.T.S.

A-1.0C
4
© 2021 SWIFTLEE OFFICE

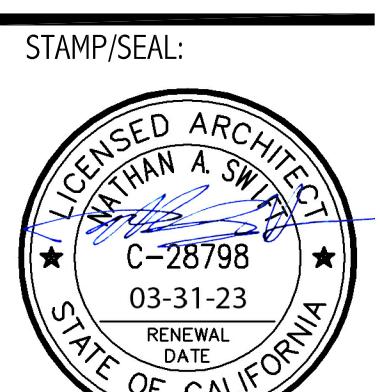
PROJECT NAME: CHERRY VALLEY HOMESCHOOL COOPERATIVE
10257 BEAUMONT AVE.
CHERRY VALLEY, CA 92223

ARCHITECT: Swift Lee Office
549A S. Raymond Ave.
Pasadena, CA 91105
T. 323.257.8200 F. 323.257.8276
www.swiftleeoffice.com

CONSULTANT:

REVISED:
SUBSTANTIAL CONFORMANCE SUBMITTAL 04.14.22
CLARIFICATIONS 06.29.22
PRELIMINARY BID SET 02.24.23
PERMIT SET 06.23.23

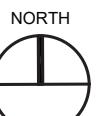
APPROVAL:



SHEET TITLE:
OVERALL COLORED SITE PLAN

PROJ. NO: 2021-19

SHEET NO:



Swift Lee Office

COLOR SITE PLAN

543A S. RAYMOND AVE.
PASADENA, CA 91105
T. 323.257.8200
www.swiftleeoffice.com © 2023

SCALE: 1" = 60'-0"

SEPTEMBER 5, 2023

10257 BEAUMONT AVE.
CHERRY VALLEY, CA 92223

